

26 January 2017

SUBJECT: Addendum Number 1
Rowan/Kannapolis ABC Store and Warehouse
Salisbury, NC

FROM: Ramsay, Burgin, Smith Architects, Inc.
225 North Main Street, Suite 501
Salisbury, NC 28144

Information contained in this Addendum and changes in Drawings and/or Specifications supersede said documents and become part of the Contract. Contractors are reminded to acknowledge receipt of this addendum on their bid Form of Proposal.

Architectural Specifications:

- Item 1- Reference Section 01020, Allowances.
Increase Signage Allowance (ABC letters on Canopy) to \$10,000.
Add City Utility Allowance in the amount of \$4000. This allowance to be used to pay for City Of Salisbury water and/or sewer related invoices only. All utility items included on drawings and in specifications shall be paid for by Contractor in Base Bid.
- Item 2- Reference Section 05400, Cold Formed Metal Framing. Available Manufacturers.
The following manufacturers/products (SUBJECT TO COMPLIANCE WITH REQUIREMENTS) are approved equals:
Telling Industries LLC Willoughby, OH www.buildstrong.com
- Item 3- Reference Section 07530, TPO Single Ply Roofing. Regarding INSULATING MATERIALS: Contractors have the option to provide Polyiso Insulation; in lieu of Extruded Polystyrene (XPS) as listed in specifications. However, the polyiso insulation board made of glass fiber-reinforced cellulosic felt facers bonded to a core of isocyanurate foam MUST meet all the same Code Requirements listed in Section 07530 - including but not limited to FM 4450 and UL 1256. The R-Value of R-25 (ci) must also be met and may require a thicker layer of polyiso depending on the specific manufacturers test data. As with the specified Extruded Polystyrene, if the Polyiso Insulation Product does not allow for direct adhesion of the roofing membrane – a cover board must be provided and installed by contractor.
- Item 4- Reference Section 08110, Steel Doors and Frames. Available Manufacturers.
The following manufacturers/products (SUBJECT TO COMPLIANCE WITH REQUIREMENTS) are approved equals: Curries Steel Doors and Frames.
- Item 5- Reference Section 08710, Door Hardware. Regarding KEYING, Contractor's shall coordinate this facility to be keyed (grand master key system) with other existing ABC facilities.
- Item 6- Reference Section 10000, Miscellaneous Accessories.
Provide and Install Dock Seals and Shelter to fit Loading Dock Overhead Door 109A opening 8ft wide by 8ft high. Side pads shall enclose a polyurethane foam pad, which is chemically welded to 2 inches thick, pressure treated wood frame – kiln dried before and after treating. The cover shall wrap behind the wood weather-tight construction. Adequate air exhausts and drain holes are to be provided in covers, and both shall be designed to prohibit moisture infiltration. Side pads shall include full length, highly visible guide stripes. Mounting hardware shall be galvanized steel. Standard unit shall consist of two side pads that mount vertically along both sides of the door opening. The head curtain shall be secured at the building face by the means of a pressure treated, kiln dried before and after treating, 2"x4" wood head frame, which shall be mounted over the top of the side pads with the head curtain tapering away to

provide for adequate drainage. Unit shall include intermediate stays, a front tubular metal support and tension straps to keep head curtain taut. The support tubing shall be held in place by a fabric sleeve sewn into the head curtain.

Dock Seal and Shelter - Basis of Design: Model TS123 by McGuire.

Base Fabric shall be 40 oz. Vinyl for medium to heavy use.

Head Curtain Drop of 24" over side pads.

10" Projection with dock bumper – coordinate with Dock Leveler Product & install.

Approx. 7'-6" between side pads at face.

Revise Exterior Signage – Yard Sign text to ABC with the word "Spirits" included below ABC. Color of sign to be selected from manufacturer's standard range of colors. For internal lighting, provide LED fixture(s).

Architectural Drawings:

- Item 7- See attached **Bulletin AB01.** Reference A2 Floor Plan. For clarification, the Exit Ramp shall be minimum 48 inches clear between handrails.
- Item 8- See attached **Bulletin AB02.** Reference A2 Floor Plan.
Create Pilasters on North Wall as indicated.
Add Aluminum Storefront Window Unit "E" to North Wall as indicated.
Relocate Water Heater in Maintenance Room 110 to mount on wall below suspended acoustical ceiling. (See Plumbing Addenda Items)
- Item 9- See Attached **Bulletin AB03.** Reference A2 Floor Plan.
Partial Floor Plan (reduced scale to 1/16") shown to clarify Critical Dimensions. Critical Clear Dimensions shown on plans are just that – critical. These dimensions are critical to the Owner's Shelving Installation.
Revise A2-03 Platform Detail – Revised detail to include treated solid wood blocking at all edge conditions. Owner will provide and install carpet "wrapped" edge – carpet to extend to floor level.
- Item 10- Reference A2 Floor Plan.
In Break Room 104, Relocate Refrigerator to cabinet wall, adjacent to column C5. Owner to adjust cabinets to include Refrigerator. (See Plumbing Addenda Items)
In Office 107, Add resilient channels (sound clips) to South Wall. Single Leg Resilient Channels (2 5/8" long, 1/2" depth x 1 1/2" leg) shall be installed on the Office Side of the 7 1/4" thick dividing wall between Retail & Warehouse. Channels shall be installed perpendicular to the framing members with the attachment flange installed (screw attachment) along the bottom edge. The bottom channel shall be installed at 6" AFF with horizontal channels installed at 24" o.c. vertically. Resilient Channels shall be equal to RC Deluxe Resilient Channel by ClarkDietrich Building Systems.
- Item 11- Reference Sheet A3 Elevations. Elevations shall be revised per this addendum to include the Decorative Cornice atop the parapet wall (South, East & West Elevations), the Brick Pilasters and Window Unit E on the North Elevation and the Canopy over Door 109 on the West Elevation.
- Item 12- See Attached **Bulletin AB04.** Reference A4-01 Wall Section. Revise Cast Stone Coping Enlarged Detail to include the **Decorative Cornice** as indicated on the Bulletin. The Decorative Cornice shall include a larger "ogee profile" Cast Stone Coping as well as the Four Brick Courses below the Cast Stone Coping. One projected Brick Course (+1/2") in Accent Color B and the other Three Brick Courses in Accent Color C. The Decorative Cornice shall be provided on all three elevations – South, East and West and shall be stepped as indicated on drawings.
- Item 13- Reference A4-03 Wall Section. Revise all references (including those on A1 Site Plan Notes) to Aluminum Downspouts to Size 4x4.
- Item 14- Reference A5-02 Wall Sections – Canopy. Revise Canopy Signage Tube Steel Supports to include (6) 2x2 tubes (two tubes per letter) as indicated on Structural Bulletin SBD1.

Item 15- See Attached **Bulletin AB05**. Reference A6-09 Shed Canopy/Metal Awnings. Add 6'-0" Canopy over Door 109 as indicated.

Civil Drawings:

- Item 1- Reference C-5 Civil Paving and Parking Plan. Curb and Gutter Size shall be 24" Curb and Gutter, Typical as indicated on the Site Plan. Both Curb & Gutter Details (Concrete Curb & Gutter and Concrete Spill Curb & Gutter) overall dimensions shall be revised from 1'-6" to 2'-0", typical.
- Item 2- Reference C-7 Bio-Cell Site Plan and Details. For Clarification, the Emergency Spillway shall be lined with NAG P 300 or equal liner as noted on Detail.
- Item 3- Reference C-4 Grading, Drainage and Erosion Control Plan. On the INITIAL EROSION CONTROL PLAN, Contractor's shall provide a 2-inch Skimmer Basin on the Temporary Sediment Trap. On the INTERMEDIATE AND FINAL EROSION CONTROL PLAN, See note to provide "2-FLOOR DRAINS" under the Canopy Gutter Drain Chains (Reference Architectural Sheet A5). These Floor Drains shall be Model NDS 1240 – 12" Round Grate or equal.

Structural Drawings:

- Item 1- See Attached **Bulletin SBD1** – Reference 1/S1.20 Framing Plan and Detail 10/S1.20 Section Through Entry Canopy. Revise Canopy Signage Steel. Provide (6) HSS 2x2x 5/16 Cuffs extending 20 inches above canopy deck. There shall be two cuffs per letter – A B C – for the signage company to sleeve / mount their signage onto/over.

Plumbing Drawings:

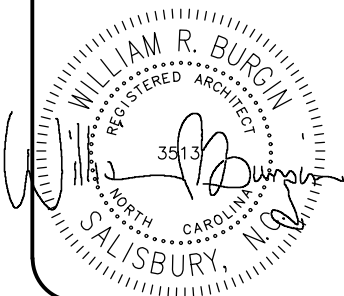
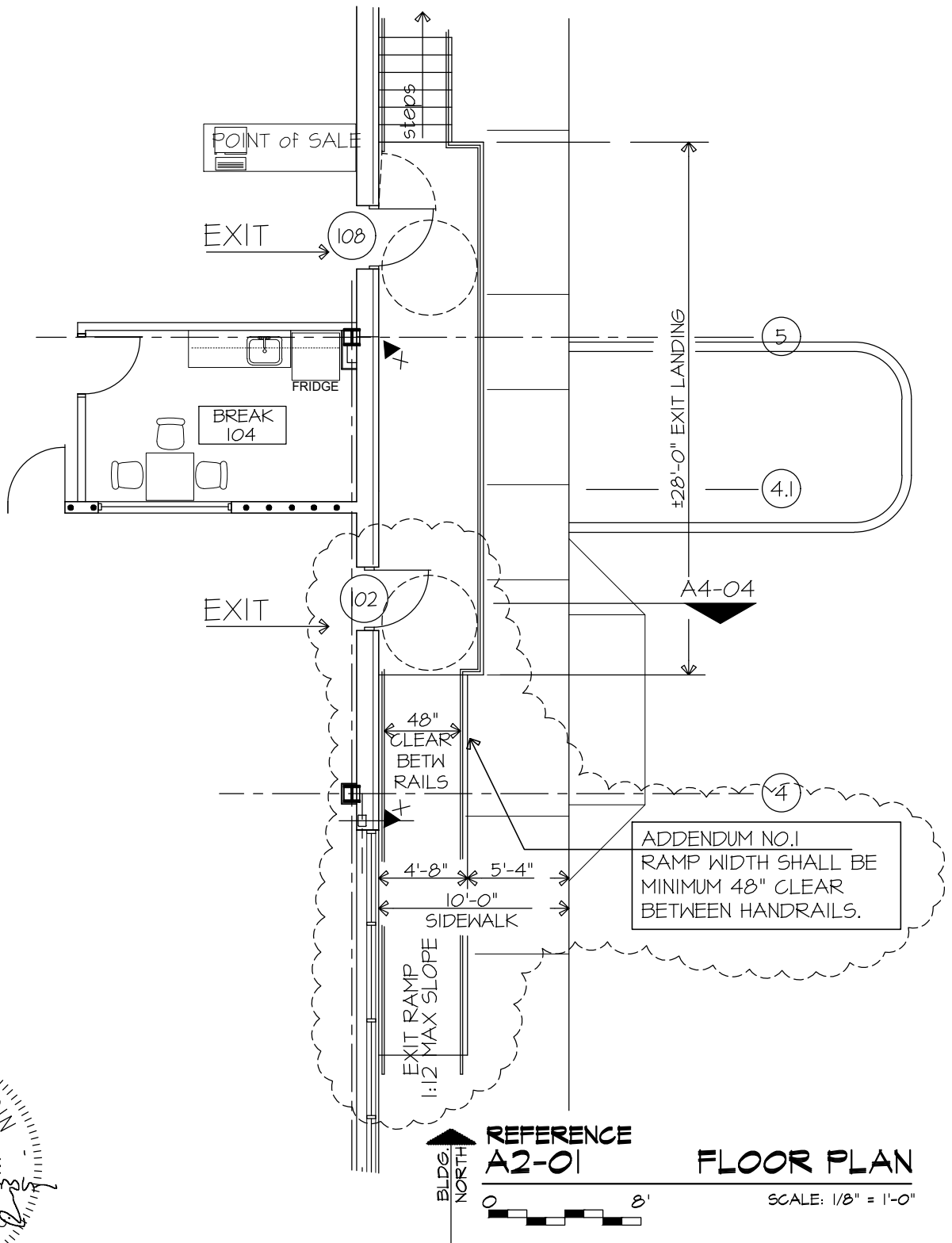
- Item 1- Reference Detail 3/P1.1 Large Scale Water Plan B. Revise mounting location of EWH-1 to just BELOW the suspended acoustical ceiling. Coordinate install Schematic (Details 2 & 3/P2.1) with ceiling system and ceiling height. Note that code required head clearances shall be maintained and coordinated prior to install of heater below ceiling.
- Item 2- Reference Detail 3/P1.1 Large Scale Water Plan D. Revise location of Valve Box for Refrigerator Ice Maker to opposite wall. Refrigerator relocated (via this Addenda) to set in cabinets – adjacent to column. Reference Architectural Items.

Electrical Drawings:

- Item 1- For Clarification, a Fire Alarm is not required on this project.
- Item 2- Reference Drawing E 1.1 & E 4.1 (Panel A). Provide power to hot box (See Civil C-3 Site and Utility) located near yard sign. Provide 2#10 plus #10 gnd in 1" conduit from hot box to Panel A circuit 42.
- Item 3- Reference Drawing E 2.1 & E 4.1 (Panel MDP). AHU-2 - remove from MDP circuit 2. Add AUH-2 to MDP 16,18,20 with 20 amp 3 pole breaker and #12 wire in 3/4" conduit. Disconnect provided with AHU-2.

END OF ADDENDUM No. 1.

(SEE REFERENCED ATTACHMENTS – including PreBid Conference Minutes.)



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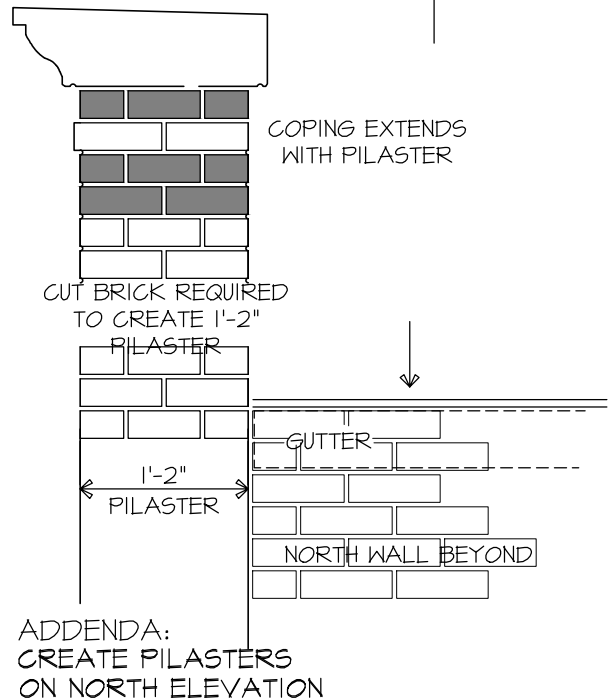
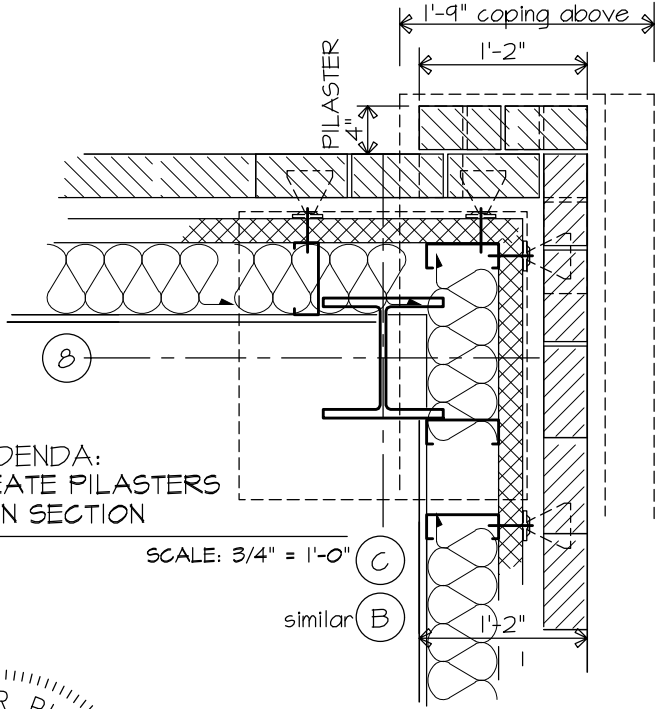
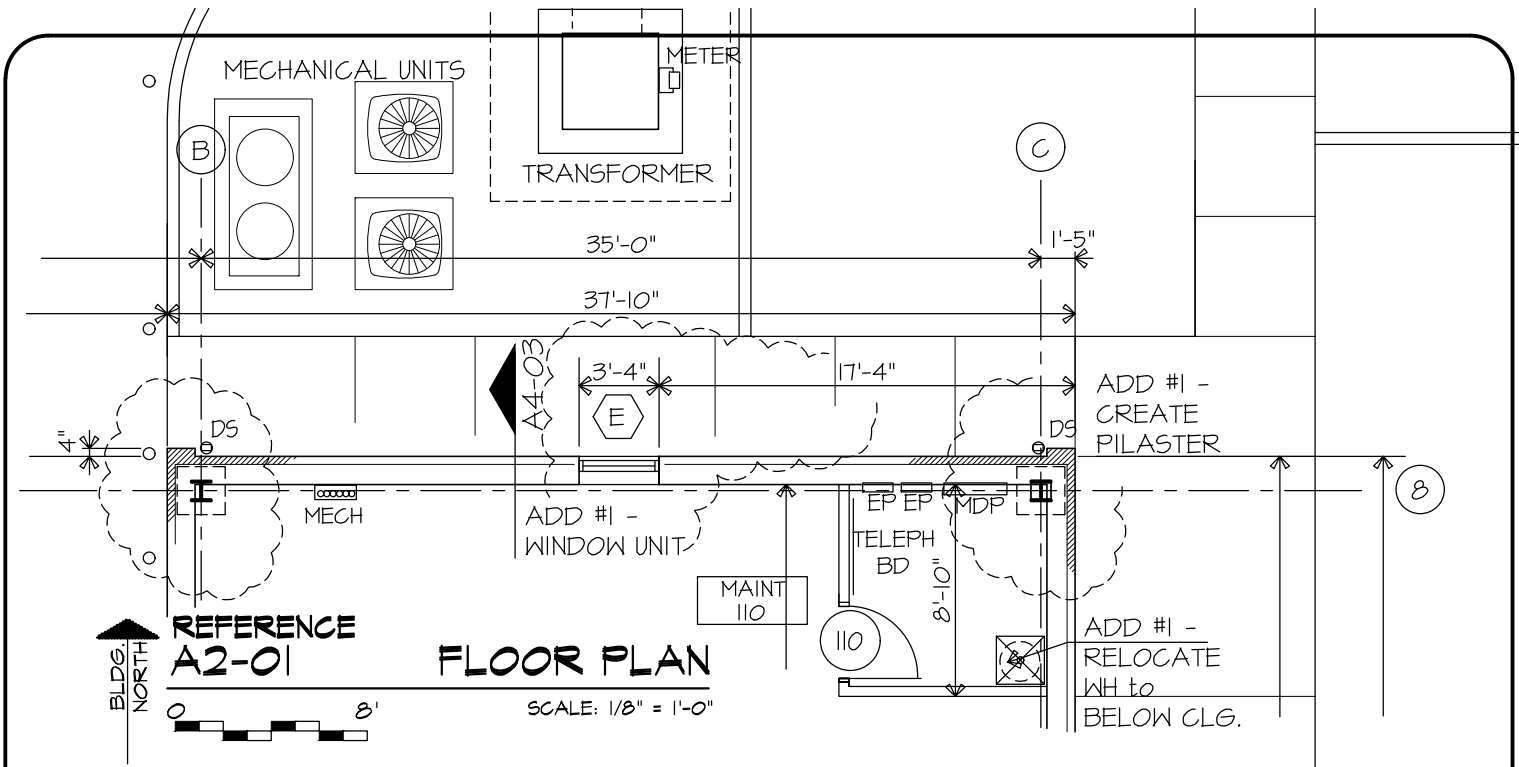
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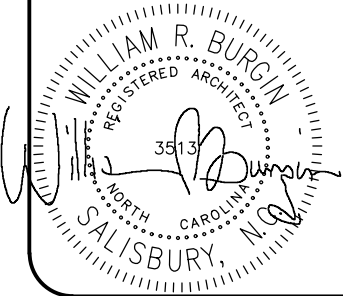
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Note: PILASTER TO EXTEND TO FOOTING. TRANSITION TO 4" CMU BELOW GRADE



DECORATIVE CORNICE
SEE BULLETIN AB4

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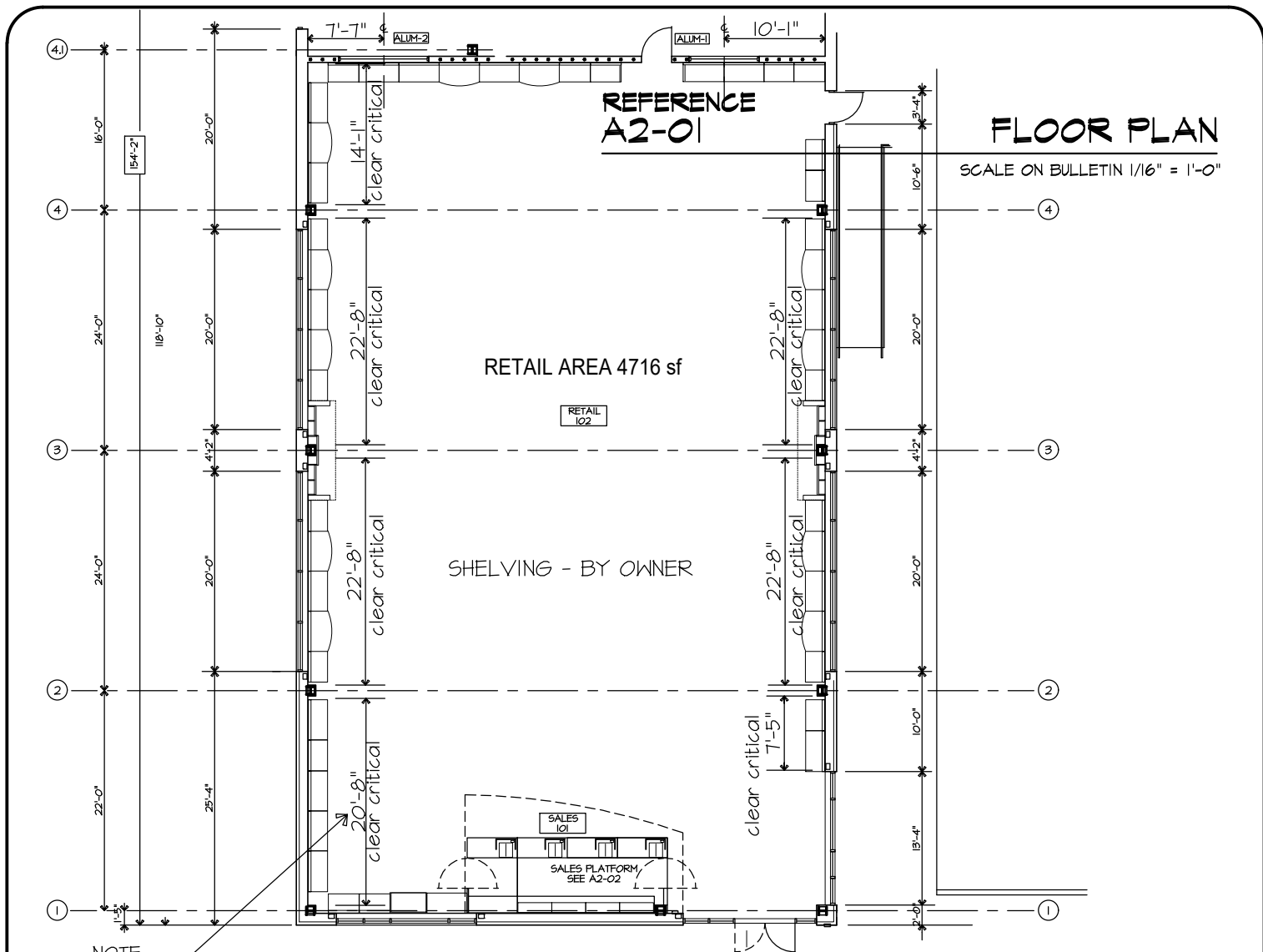
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NOTE:

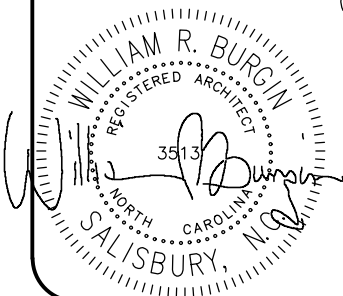
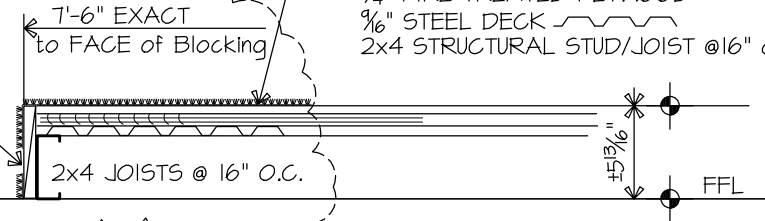
THE CLEAR CRITICAL DIMENSIONS SHOWN HERE ARE MINIMUM CLEARANCES BETWEEN THE FINISHED WRAPPED COLUMNS and/or THE WRAPPED COLUMNS & WALLS or WINDOW JAMBS. THESE ARE CRITICAL TO THE OWNER'S SHELVING/DISPLAY INSTALLATION.

ADDENDA:
REVISE EDGE CONDITION
OF PLATFORM

TREATED BLOCKS AT
EDGE CONDITIONS, TYP.

SEE ROOM
FINISH SCHEDULE

SALES PLATFORM:
CARPET - BY OWNER
1/2" F.R. UNDERLAYMENT
3/4" FIRE TREATED PLYWOOD
1/8" STEEL DECK
2x4 STRUCTURAL STUD/JOIST @16" o.c.



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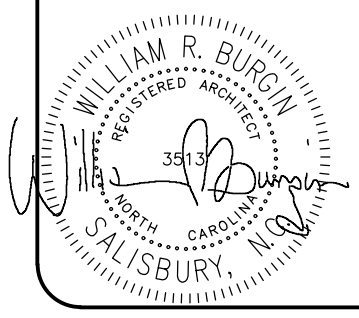
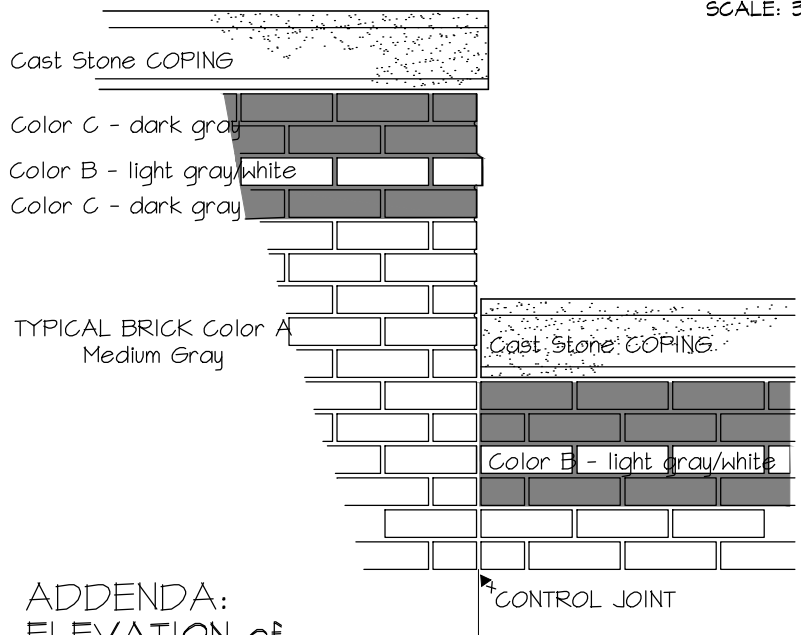
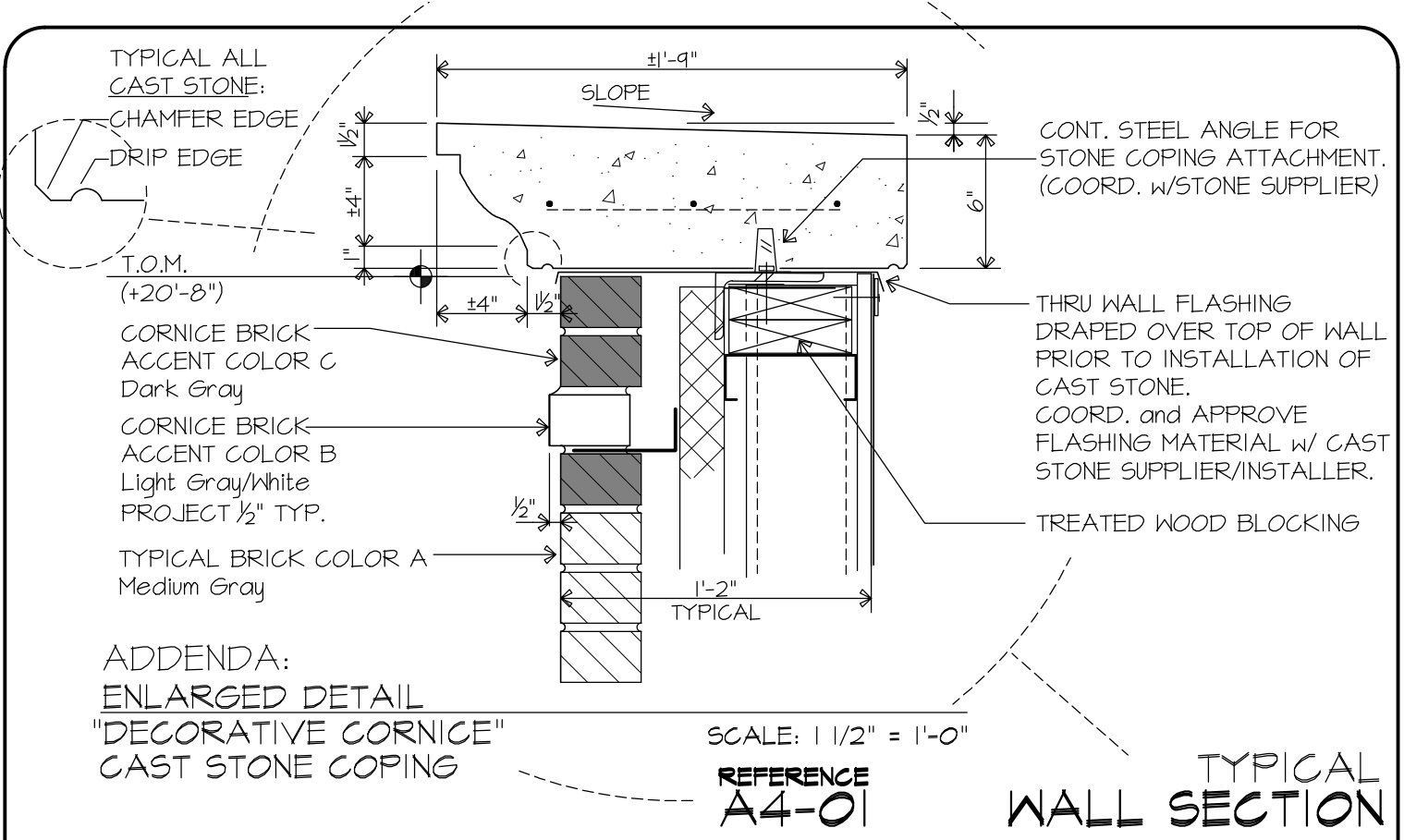
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AB3

OF



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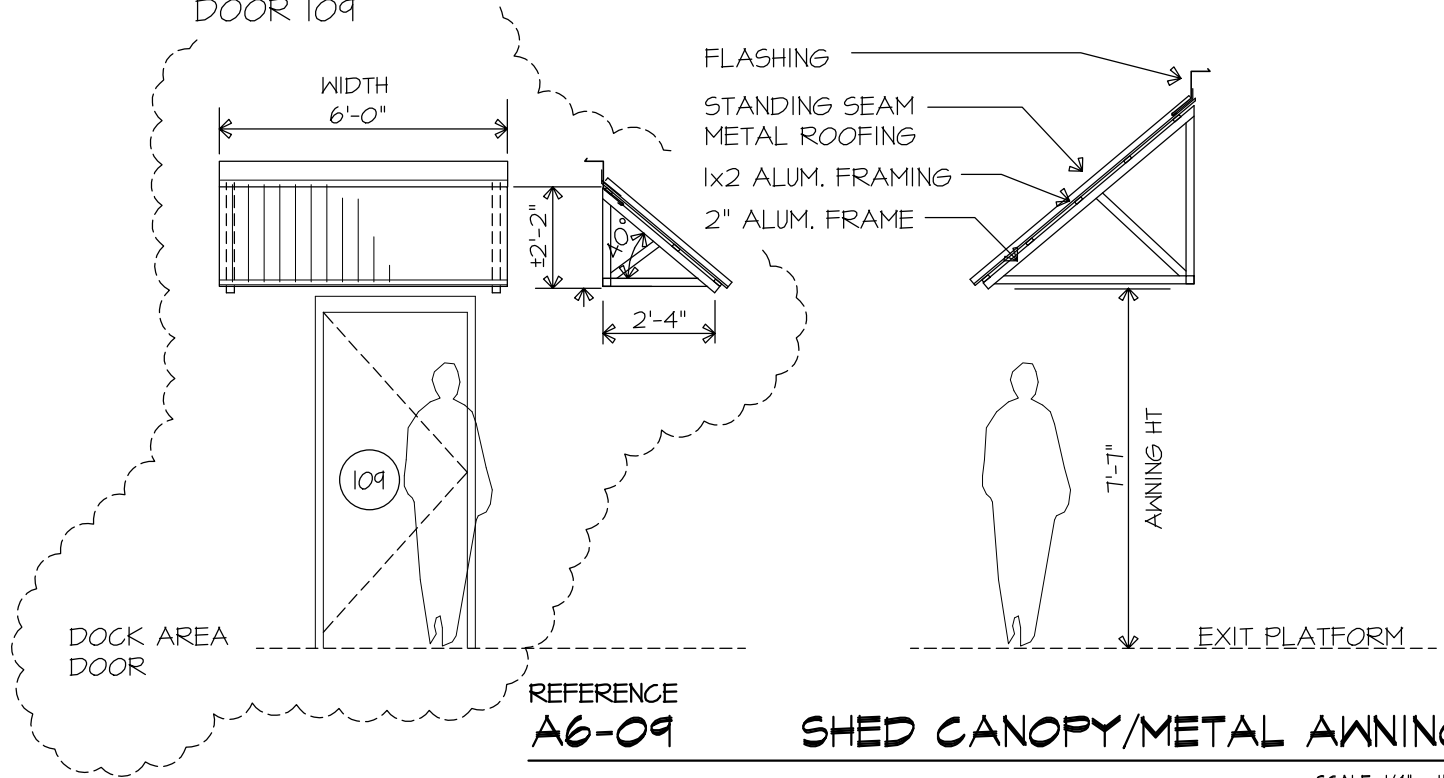
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ADDENDA
ADD CANOPY OVER
DOOR 109



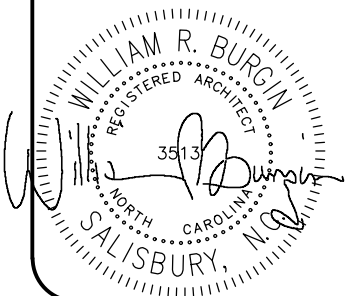
REFERENCE
A6-09

SHED CANOPY/METAL AWNING

SCALE: 1/4" = 1'-0"

REFERENCE SPEC SECTION 10000 FOR
METAL AWNINGS.

REFERENCE WALL SECTIONS A4-04 FOR
RELATED NOTES AND DIMENSIONS



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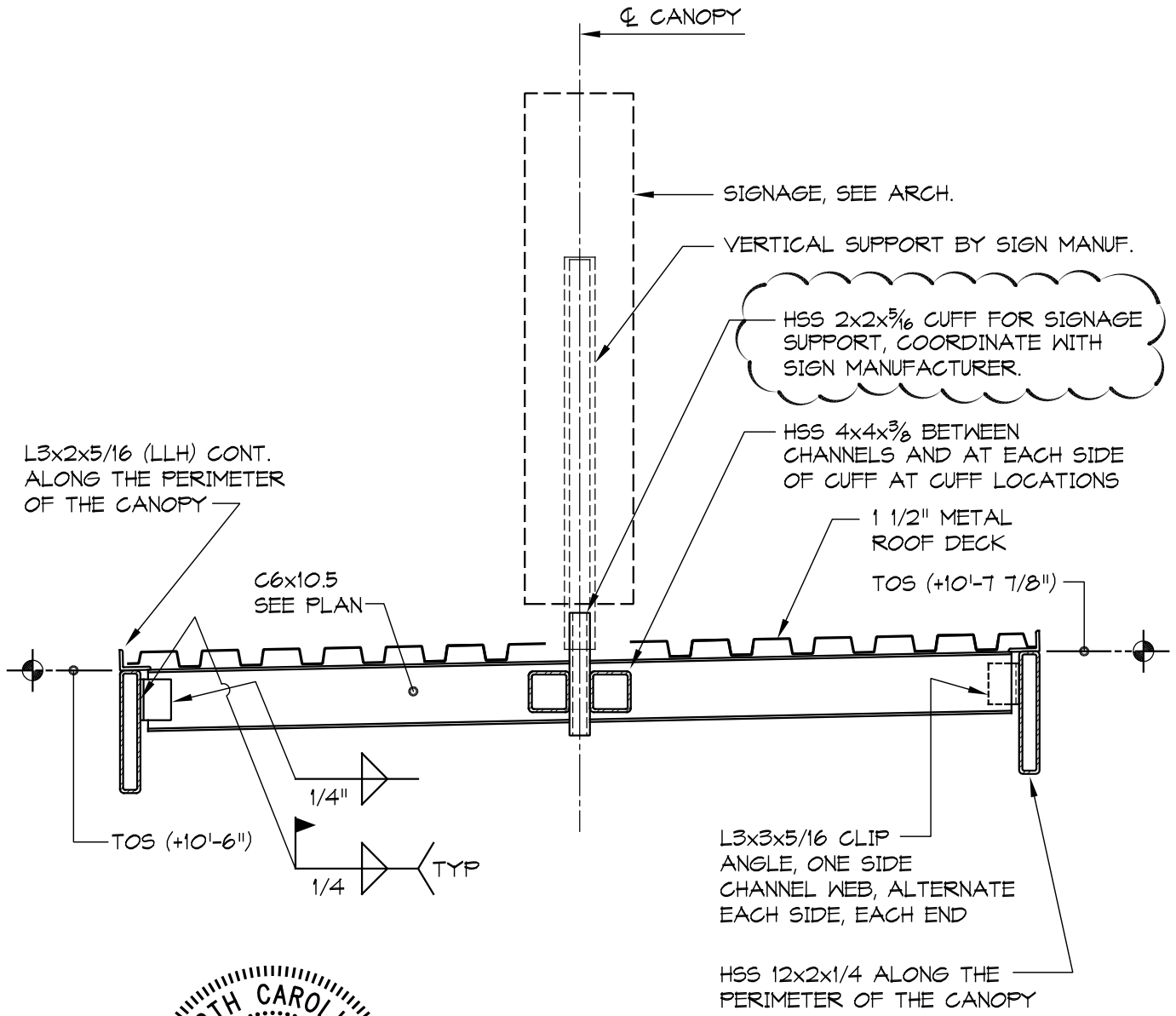
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 5601 77 Center Drive
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 Office Telephone:
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**Rowan/Kannapolis
 ABC Store & Warehouse
 Salisbury, North Carolina**

Revised Signage Support
 Reference: 10/S1.20
 SCALE: 3/4"=1'-0"

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PRE-BID CONFERENCE
Rowan/Kannapolis
ABC STORE & WAREHOUSE
Salisbury, North Carolina
25 January 2017

Attending:

Terry Osborne	ABC Board, Director
Bill Burgin	Ramsay Burgin Smith Architects (RBSA)
David Jarvis	Ramsay Burgin Smith Architects (RBSA)
Neil Jarrell	Crescent Construction
Joey Carpenter	Carpenter Construction
David Isenhour	Ike's Construction
Jim Carter	KMD Construction
David Smith	Salcoa Construction
Emmett Sapp	Emmett Sapp Builders
David Hartman	Vertex Construction
Chris Hoover	W.C. Construction
Thomas Wilson	GL Wilson Construction
Jerry Blanchard	The Bosewell Group – Elec
Jeff Howell	Mugo Gravel & Grading
Ryan Griffin	Guilford Locksmithing

A Pre-Bid Conference was held on Wednesday January 25th to acquaint bidding contractors with the project and to allow an opportunity to see the site. A brief overview of the project was given and the following general clarifications were made:

This is a Single Prime project with the General Contractor as the single source responsible.

RBSA reminded all those present to **Verify That They Have All Sheets Scheduled In The Set Of Drawings And In The Specifications**. It is the responsibility of the Contractor to cross reference and count drawing sheets/specifications to verify receipt of a complete set of bid documents.

Regarding the Form of Proposal, the **list of subcontractors on the BID FORM** must be filled out completely and cannot be revised after the Bid Date.

Please note that a **Bid Bond and Performance and Payment Bonds and MBE** are required for this project.

Per the Invitation to Bid, no bid may be withdrawn after time set – **for a period of 45 days**.

Construction Duration - 10 Months.

Liquidated Damages will be enforced at **\$500** per day. Contractors have 30 days to submit any time delays outside their control to the Architect. Submissions will **not be accepted** at the end of the project.

Note: Bad Weather Days are defined in the Supplementary Conditions. Reference website listed for what will be used as contractual “normal bad weather days”.

Agencies reviewing this project – including the City of Salisbury (Zoning), Salisbury City Fire Marshal and Rowan County Inspections Department. RBSA is working on getting these final approvals. Rowan County Financial Responsibility/Ownership Forms as well as DOT Driveway Permit applications are also underway.

Contractors are responsible for coordination, filing and payment of all permits and water/sewer tap fees with City and the County.

A Testing Allowance (\$15,000) has been set up to pay for ALL TESTING related to this project. The Contractor shall employ a Testing Agency (approved by Owner) to perform all specified/necessary AND as yet, unknown quality control services. Payments to the testing agency for these services shall be billed against the Testing Allowance. Contractors are warned not to abuse this right but to be responsible with agency's time and the Owner's Testing Allowance Funds.

Special Inspections are required and Rowan County SI Statement is included in 01400 Quality Control.

Contractors should note that an Undercut & Fill allowance has been **included for 3000 cy.**

Contractors were reminded to note specification, Section 02110 Site Clearing – Topsoil removal (**not less than 6 inches**) is part of **BASE BID** work.

ECS Soil Boring Report estimates 2ft of undercut under building and in paved areas. The reported moisture sensitive soils (Fat CLAYS CH) are organic laden soils that tend to shrink and swell with moisture variations. They are NOT to be used for project foundations, SOG or pavements. See ECS Soil Boring Report – provided on RBSA website.

Product substitutions should be pre-approved (in writing) as equal by the Architect prior to bid if possible. While substitutions will not automatically be rejected after bid, products are subject to rejection by Architect for any failure to meet specifications.

Project Specifics:

Regarding the Site – Clean site – very little clearing and/or demo.

One small wood frame shed – no roof and falling down.

No Work over the Property Line – See Note to take care with heavy equipment on the east property line adjacent to the existing property Wood Retaining Wall.

Utilities: The City has located and tagged the existing Water Meter.

The City has verified an existing Sewer Line crossing under Jake Alexander and serving the property but there is a block in the line that would not allow this to see exactly where the line enters the site.

This needs to be verified prior to beginning construction.

Coordinate Power Supply/Service with Duke Energy (transformer located on dwgs)

Coordinate Telephone/Cable Service entrance with provider.

Building Notes:

Facility is basic metal stud/brick veneer exterior walls, steel column/beam structural frame, steel roof deck and TPO membrane roofing system.

Note the steel frames / vertical girts required around the larger window openings.

Foundations: Note location of foundation piers required at moment frame connections.

Contractors are responsible for foundation/utility coordination and any required step down of footings.

For example: if a footing has to be stepped down to allow service lines to exit the bldg.

Note that dimensions marked as “critical” must be met and are marked because they are critical to the Owner’s Subcontractors installations.

Coordination:

The Owner is providing and installing numerous items (as indicated on drawings/specs) and close coordination with the Owner’s subcontractor is required as part of this bid contract. Contractor’s must coordinate and communicate with the Sub on timing of installations - light fixtures, floor finishes, millwork, etc.

The contractor will also be required to **maintain the construction dumpster** (or methods of waste management) until all of the Owner’s subcontractor items have been installed.

Review of Addenda items to date:

Clarify – the ABC signage on the Canopy is via Signage Allowance – increased to \$10,000.

Note that the Addenda does include a revision to the STEEL supporting these ABC letters on the canopy.

For City of Salisbury Zoning Approvals, the **addition of a few architectural design features** was necessary. See Bulletins for a “decorative cornice” (revised parapet coping), additional canopy, pilasters on the North Wall and one additional window unit.

Add resilient channels (sound) to Manager’s Office Wall.

Add Dock Seals and Curtain around overhead door at loading dock.

As the Bid Date closes in, any conflicts on Drawings that are not covered by addendum will be addressed by reading the drawings as they stand and assuming the most expensive interpretation. The specification lists the order of precedence – see Supplementary General Conditions, Article 1. Any questions clarified in an Addendum will aid everyone bidding.

The minutes of this meeting will be included in the Addendum No.1.

The **Bid Date** remains as scheduled.

Contractors are advised to be on time – Bids will be closed promptly at 3:01 pm.

END OF PRE-BID MINUTES.

(Minutes issued as part of Addendum No.1)